

# ELMHURST GARDENS, HEMLINGTON, MIDDLESBROUGH, TS8 9EN



- ▲ A Three Bedroom Mid Terrace House
- ▲ Ideal for First Time Buyer, Family, or Investor
- ▲ Conveniently Located Offering Easy Access to the A174, A19 & A66

- ▲ Spacious Living Room Opening to Generous Sized Kitchen Diner
- ▲ Three Good Sized Bedrooms
- ▲ Smart Family Bathroom
- ▲ Enclosed Rear Garden

**£85,000**

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4 Elmhurst Gardens is a generous sized three-bedroom terrace house offering easy access to the A174, A19 and A66 and features an enclosed rear garden. Internally the accommodation briefly comprises a spacious living room with large storage cupboard and staircase to the first floor, generous size kitchen diner, three good size first floor bedrooms and a family bathroom. Please call our Nunthorpe Office to arrange your viewing appointments.

#### GROUND FLOOR

##### **LIVING ROOM - 4.75m x 3.45m (15'7" x 11'4")**

With laminate style flooring, large under stairs cupboard and staircase to the first floor.

##### **KITCHEN DINER - 4.75m x 3.45m (15'7" x 11'4")**

With a smart range of fitted wall and floor units, complementing work surfaces, electric oven and hob with extractor over, integrated fridge and freezer, plumbing for washing machine, two large storage cupboards, wall mounted central heating boiler and external door.

#### FIRST FLOOR

##### **BEDROOM ONE - 4.47m x 2.51m (14'8" x 8'3")**

With laminate flooring.

##### **BEDROOM TWO - 2.34m x 3.28m (7'8" x 10'9")**

With laminate flooring and large storage cupboard.

##### **BEDROOM THREE - 2.29m x 2.64m (7'6" x 8'8")**

With laminate flooring.

##### **BATHROOM - 2.6m x 2.16m (8'6" x 7'1")**

White suite comprising P' shaped bath with shower over and screen, low level WC, vanity wash hand basin, spotlighting, chrome heated towel rail, and airing cupboard.

**TO VIEW:** Tel: **01642 955625**

95 Guisborough Road, Nunthorpe, TS7 0JS

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**EXTERNALLY**

**GARDENS** - Externally there is an easy to maintain front garden and to the rear there is an enclosed garden with patio, astro turf and gated access.

**AGENTS REF:** - DP/LS/NUN240014/02022024

**Council Tax Band:**      **Tenure:** Freehold

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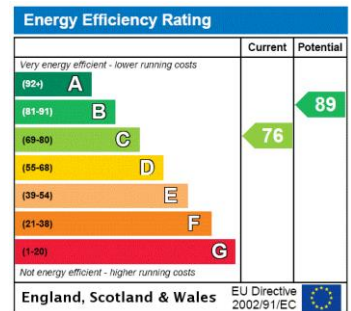
A photograph of the Michael Poole property consultants storefront at night, illuminated by blue neon lights. The sign above the entrance reads 'Michael Poole property consultants'. The windows display various property listings.

Do you have a property you need to sell before you can buy?

Michael Poole offers **FREE, no obligation** market appraisals and gives you guidance on the **BEST PRICE** you can expect in the current market



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